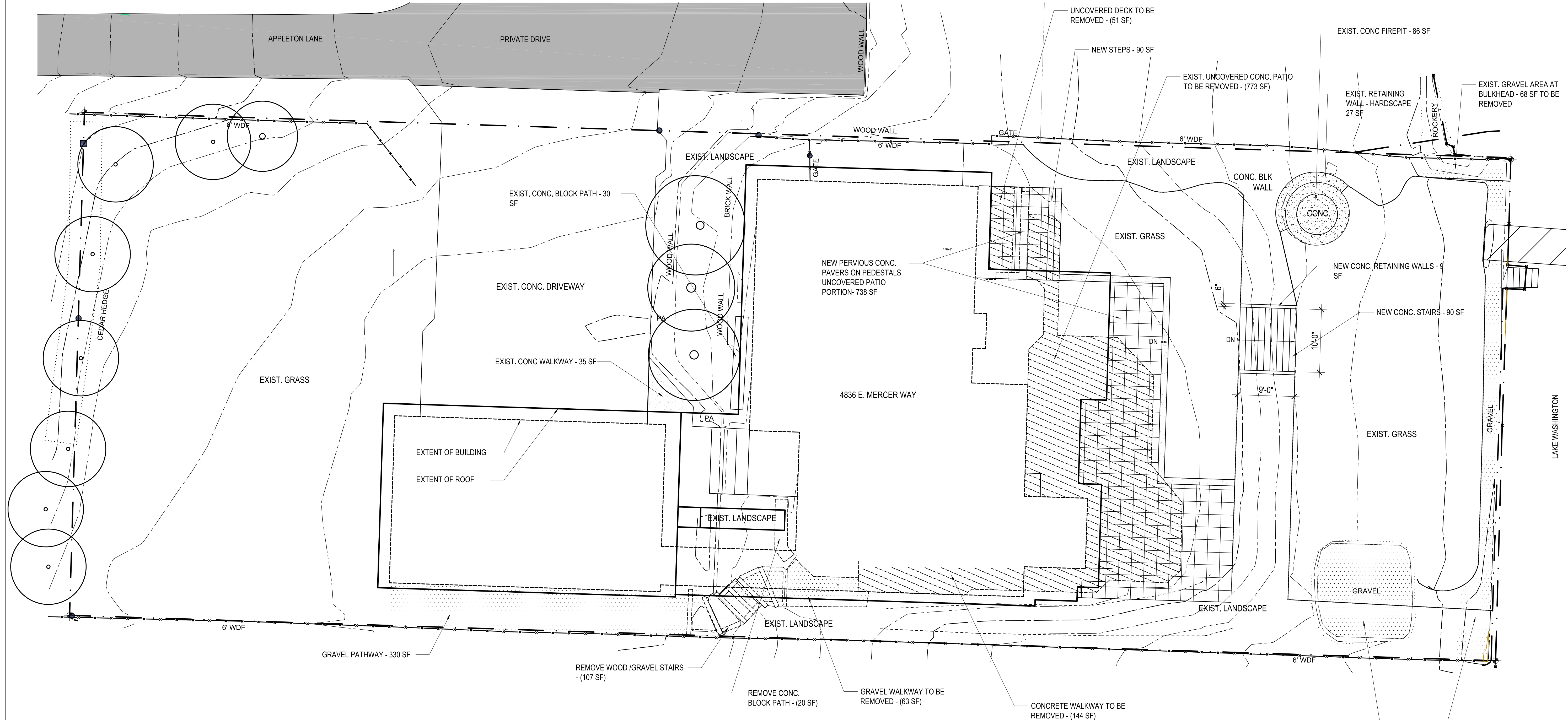




Date:	01.30.2026
Number:	CONSTRUCTION SET ISSUE
Revision:	BUILDING PERMIT REVISION 1



**1** HARDSCAPE PLAN  
 1/8" = 1'-0"

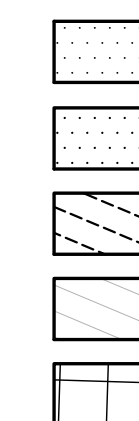
**HARDSCAPE CALCULATIONS:**

A. Gross Lot Area:	18,403 SF
B. Net Lot Area:	18,403 SF
C. Area Borrowed From Lot Coverage:	0 SF
D. Allowed Hardscape Area = 9% of lot area + C:	1,656 SF
E. Allowed Hardscape Area:	1,656 SF
F. Total Existing Hardscape Area:	
1. Uncovered Decks:	51 SF
2. Uncovered Patios:	531 SF
3. Walkways:	557 SF
4. Stairs:	107 SF
5. Rockeries and Retaining Walls:	27 SF
6. Other: Firepit, Gravel playarea, gravel at bulkhead	564 SF
7. Total Existing Hardscape Area (f1+f2+f3+f4+f5+f6):	1,837 SF

G. (Total Hardscape Area Removed):	(1,370) SF
H. Total New Hardscape Area:	
1. Uncovered Decks:	
2. Uncovered Patios:	844 SF
3. Walkways:	
4. Stairs:	180 SF
5. Rockeries and Retaining Walls:	9 SF
6. Other _____:	
7. Total New Hardscape Area (h1+h2+h3+h4+h5+h6):	1,033 SF
I. Total Project Hardscape Area = (f7 - g) + h7:	1,500 SF
J. Total Project Hardscape Area = (I/B)x100 % of Lot::	8.2 %

**LEGEND:**

- EXIST. GRAVEL PATH TO REMAIN
- EXIST. GRAVEL AND STAIRS TO BE REMOVED
- EXIST. CONC. PATIO, WD DECK AND WALKWAY TO BE REMOVED
- EXIST. CONC. PATIO
- NEW CONC. PAVER ON PEDESTALS



**HARDSCAPE CALCULATIONS**



Owner:  
 Greg and Jennifer Rosenwald

4836 E Mercer Way  
 Mercer Island, WA 98040

P. -  
 Contact: Greg Rosenwald

General Contractor:  
 TBD

P. -  
 Contact: -

Structural Engineer:  
 Harriott Valentine Engineering  
 1932 1st Ave, Suite 720  
 Seattle, WA 98101

P. 206.624.4760  
 Contact: Todd Valentine

Mechanical Engineer:  
 n/a

P. -  
 Contact: -

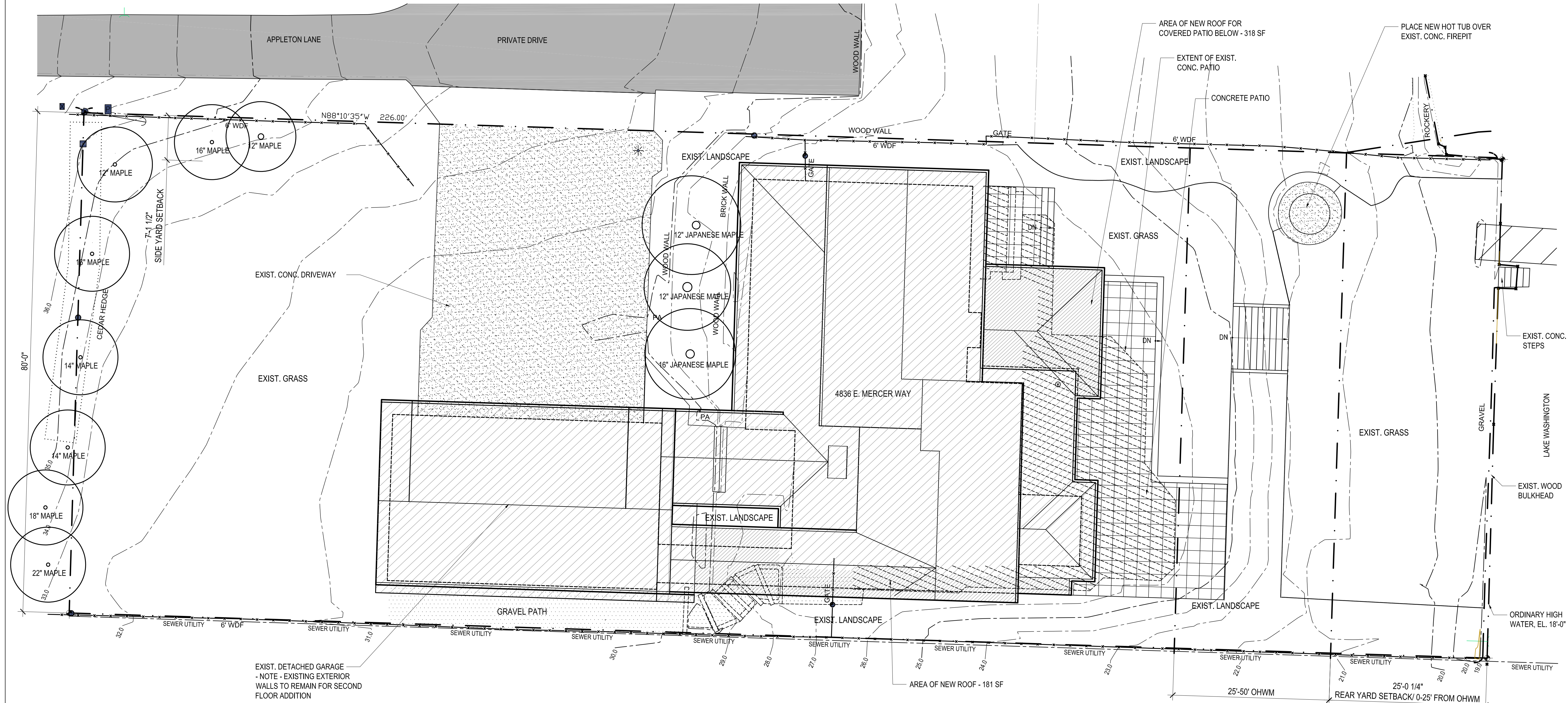
Jurisdiction Approval Stamp

Date:	01.30.2026
Number:	CONSTRUCTION SET ISSUE
Revision:	BUILDING PERMIT REVISION 1

Project:  
**Rosenwald Residence**  
 4836 E Mercer Way  
 Mercer Island, WA 98040  
 Project No. 24.245  
 Date: January 30, 2026  
**CONSTRUCTION**

**HARD SURFACE PLAN**

**A1.2**



**1 HARD SURFACE PLAN**  
 1/8" = 1'-0"

**HARD SURFACE CALCULATIONS:**

<b>1. Roof Areas:</b> a. Garage Roof: Existing Roof Area: 1,553 SF Proposed Roof Area Addition: 0 SF Total Roof Area: 1,425 SF b. House Roof: Existing Roof: 3,197 SF Proposed Roof Area Addition: 649 SF Total Roof Area: 3,846 SF c. Total Existing Roof Area: 4,750 SF Total Proposed Additional Roof Area: 649 SF TOTAL ROOF AREA: 5,399 SF		<b>2. Hardscape Area (See Sheet A1.2):</b> Existing Hardscape: 1,810 SF Proposed Hardscape Removal: (1,370 SF) Proposed Hardscape Addition: 1,033 SF TOTAL HARDSCAPE AREA: 1,473 SF (337 SF decrease from exist.)	
<b>3. Driveway:</b> Existing Driveway Area: 1,638 SF Proposed Driveway Addition: 0 SF TOTAL DRIVEWAY AREA: 1,638 SF		<b>TOTAL HARD SURFACE (Roof + Hardscape + Driveway):</b> Existing Total Hard Surface Area: 8,198 SF Proposed Total Hard Surface Addition: 312 SF TOTAL HARD SURFACE AREA: 8,510 SF	

- LEGEND:**
- EXIST. GRAVEL PATH TO REMAIN
  - EXIST. GRAVEL AND OR STAIRS TO BE REMOVED
  - EXIST. CONC. PATIO, WD DECK AND WALKWAY TO BE REMOVED
  - EXIST. CONC. PATIO
  - NEW CONC. PAVER ON PEDESTALS

**HARD SURFACE CALCULATIONS**

Architect:  
**JML ARCHITECTS**  
 Mercer Island, WA 98040  
 P. 206.802.4040  
 Contact: Jean-Marc LeRoy, AIA



Owner:  
 Greg and Jennifer Rosenwald  
 4836 E Mercer Way  
 Mercer Island, WA 98040  
 P. -  
 Contact: Greg Rosenwald

General Contractor:  
 TBD  
 P. -  
 Contact: -

Structural Engineer:  
 Harriott Valentine Engineering  
 1932 1st Ave, Suite 720  
 Seattle, WA 98101  
 P. 206.624.4760  
 Contact: Todd Valentine

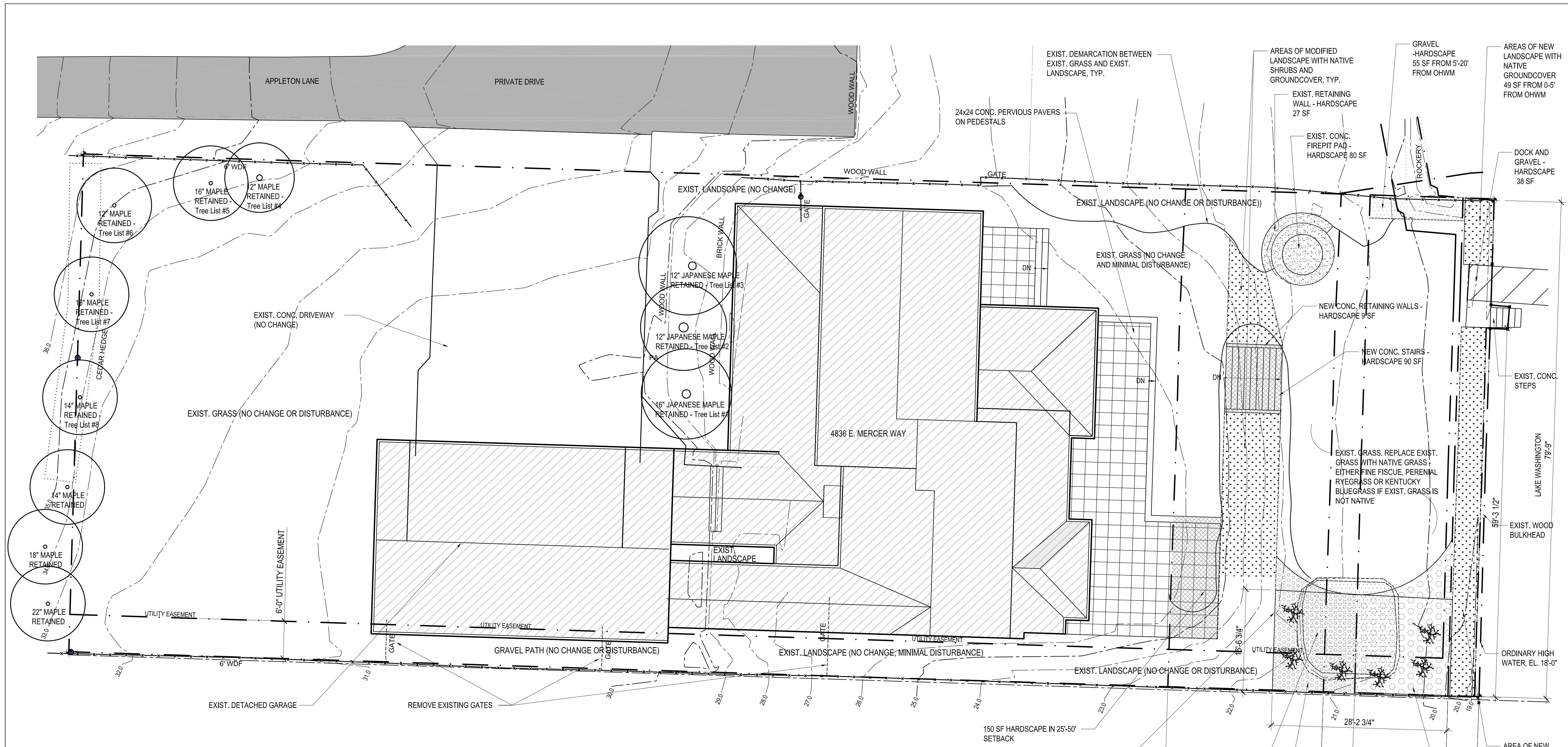
Mechanical Engineer:  
 n/a  
 P. -  
 Contact: -

Jurisdiction Approval Stamp

Date:	01.30.2026
Revision:	03.20.2026
Number:	CONSTRUCTION SET ISSUE
Revision:	BUILDING PERMIT REVISION 1

Project:  
**Rosenwald Residence**  
 4836 E Mercer Way  
 Mercer Island, WA 98040  
 Project No. 24.245  
 Date: January 30, 2026  
**CONSTRUCTION**

SHORELINE LANDSCAPE PLAN  
**A1.3**



**1 SHORELINE/LANDSCAPE PLAN**  
 1/8" = 1'-0"

PROJECT ADDRESS: 4836 E MERCER WAY, MERCER ISLAND, WA 98040  
 PARCEL NUMBER: 1924059001  
 ZONING: R-15  
 MIN BUILDING SETBACKS:  
 FRONTYARD: 20'-0"  
 SIDNEYARD: 15'-0" TOTAL  
 REAR: 25'-0"  
 LOT SIZE: 18,403 SF  
 LEGAL DESCRIPTION: BEG AT N MNDR COR OF GL 1 TH S 00-11-00 W 335 FT TH N 89-41-00 W 15 FT TO TPOB TH S 00-11-00 W 80 FT TH S 89-41-00 E 220 FT MIL TO ELY LN SD GL TH NELY TO PT S 89-41-00 E OF TPOB TH N 89-41-00 W TO TPOB TGW 2ND CL SH LDS ADJ  
 ENVIRONMENTAL CONDITIONS: R-15  
 ZONING: WIND SPEED EXPOSURE  
 WIND SPEED 1.0  
 POTENTIAL SLIDE  
 SEISMIC/LIQUEFACTION

TREE CALCULATIONS:

LOT AREA:	18,403 SF	CONDITION:	ACTION:
ONE POINT TO PER 500SF:	36.8 POINTS (37.0) NEEDED		
* 1. - EXIST. 16" JAPANESE MAPLE <i>Acer palmatum</i>	16.0 POINTS	GOOD	REMAIN
* 2. - EXIST. 12" JAPANESE MAPLE <i>Acer palmatum</i>	12.0 POINTS	GOOD	REMAIN
* 3. - EXIST. 12" JAPANESE MAPLE <i>Acer palmatum</i>	12.0 POINTS		
4. - EXIST. 12" BIG LEAF MAPLE <i>Acer macrophyllum</i>	12.0 POINTS	GOOD	REMAIN
5. - EXIST. 16" BIG LEAF MAPLE <i>Acer macrophyllum</i>	16.0 POINTS	GOOD	REMAIN
6. - EXIST. 12" BIG LEAF MAPLE <i>Acer macrophyllum</i>	12.0 POINTS	GOOD	REMAIN
7. - EXIST. 16" BIG LEAF MAPLE <i>Acer macrophyllum</i>	16.0 POINTS	GOOD	REMAIN
8. - EXIST. 14" BIG LEAF MAPLE <i>Acer macrophyllum</i>	14.0 POINTS	GOOD	REMAIN

TOTAL EXISTING POINTS: 110.0 POINTS  
 \* DENOTES EXCEPTION TREE

SHORELINE LANDSCAPE:

VEGETATION - 0-5' FROM OHWM:	AREA:	ALLOWED HARDSCAPE 0-25' FROM OHWM:	AREA:
VEGETATION:	399 SF	AREA:	1,994 SF
HARDSCAPE:	38 SF	ALLOWED:	10%
NATIVE VEGETATION:	361 SF	PROPOSED:	93 SF = 5%
NATIVE VEGETATION %:	90%	ALLOWED HARDSCAPE 25-50' FROM OHWM:	AREA: 1,944 SF
		ALLOWED:	30%
		PROPOSED:	356 SF = 18.2%

LEGEND:  
 EXIST. GRAVEL PATH TO REMAIN  
 EXIST. GRAVEL AND STAIRS TO BE REMOVED  
 NEW NATIVE PLANTS- SHRUBS AND GROUNDCOVER  
 NEW CONC. PAVER ON PEDESTALS

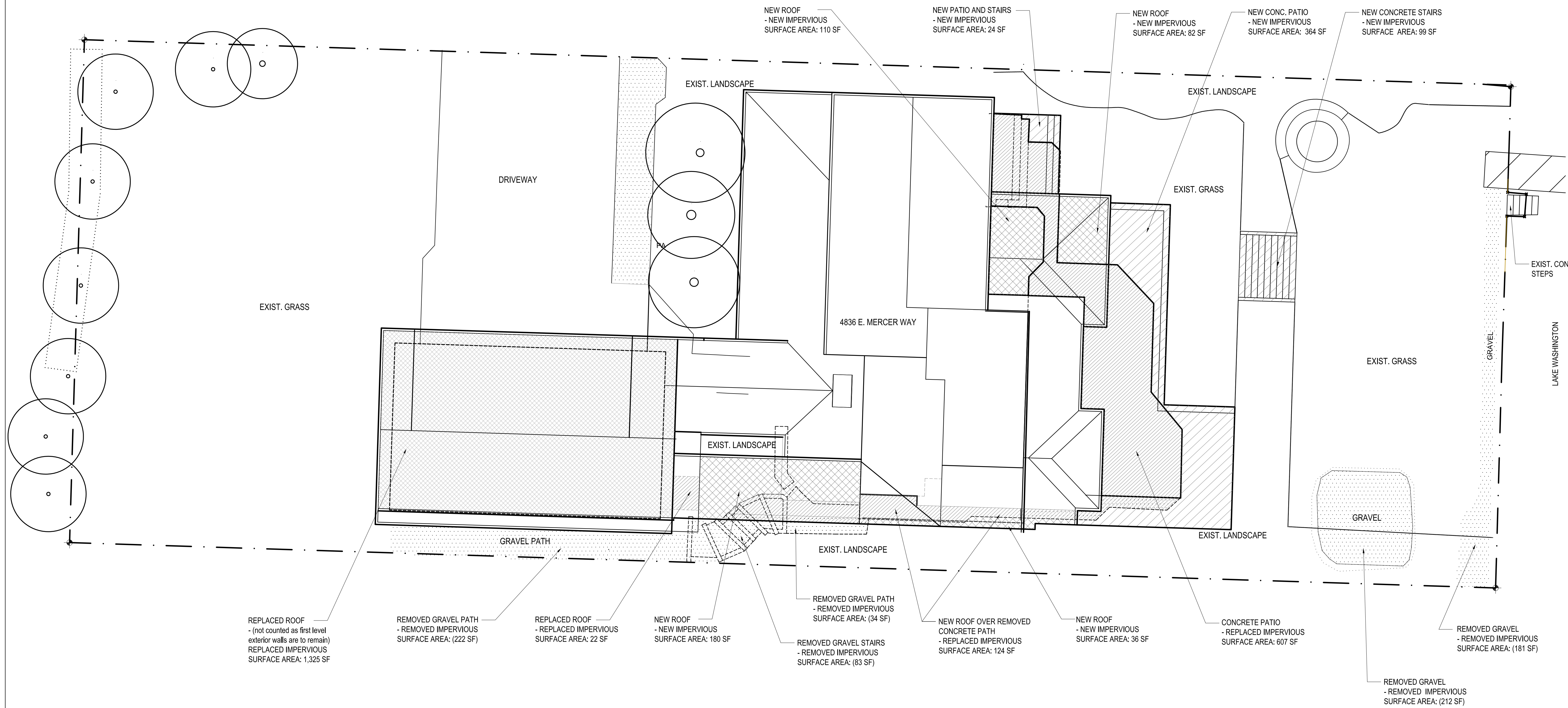
PROJECT INFORMATION

TREE NOTES

SHORELINE LANDSCAPE/HARDSACPE



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**1** IMPERVIOUS SURFACE PLAN - NEW AND REPLACED  
 1/8" = 1'-0"

**IMPERVIOUS SURFACE CALCULATIONS:**

Replaced and New Impervious Surface area

1. Replaced Impervious Surface Area:	2,565 sf
2. New Impervious Surface Area:	408 sf
3. Roof Over Garage does not count (ext. walls remain)	(1,425 sf)

Total New and Replaced Impervious Surface Area: 1,648 sf

Removed Impervious surface area:

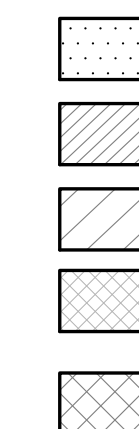
1. Removed Impervious Surface Area:	408 sf
-------------------------------------	--------

**DIFFERENCE BETWEEN REPLACED/NEW IMPERVIOUS AND REMOVED IMPERVIOUS AREA**

Total New/Replaced Impervious Area:	1,648 sf
Total Removed Impervious Area:	(408 sf)
Difference:	1,240 sf

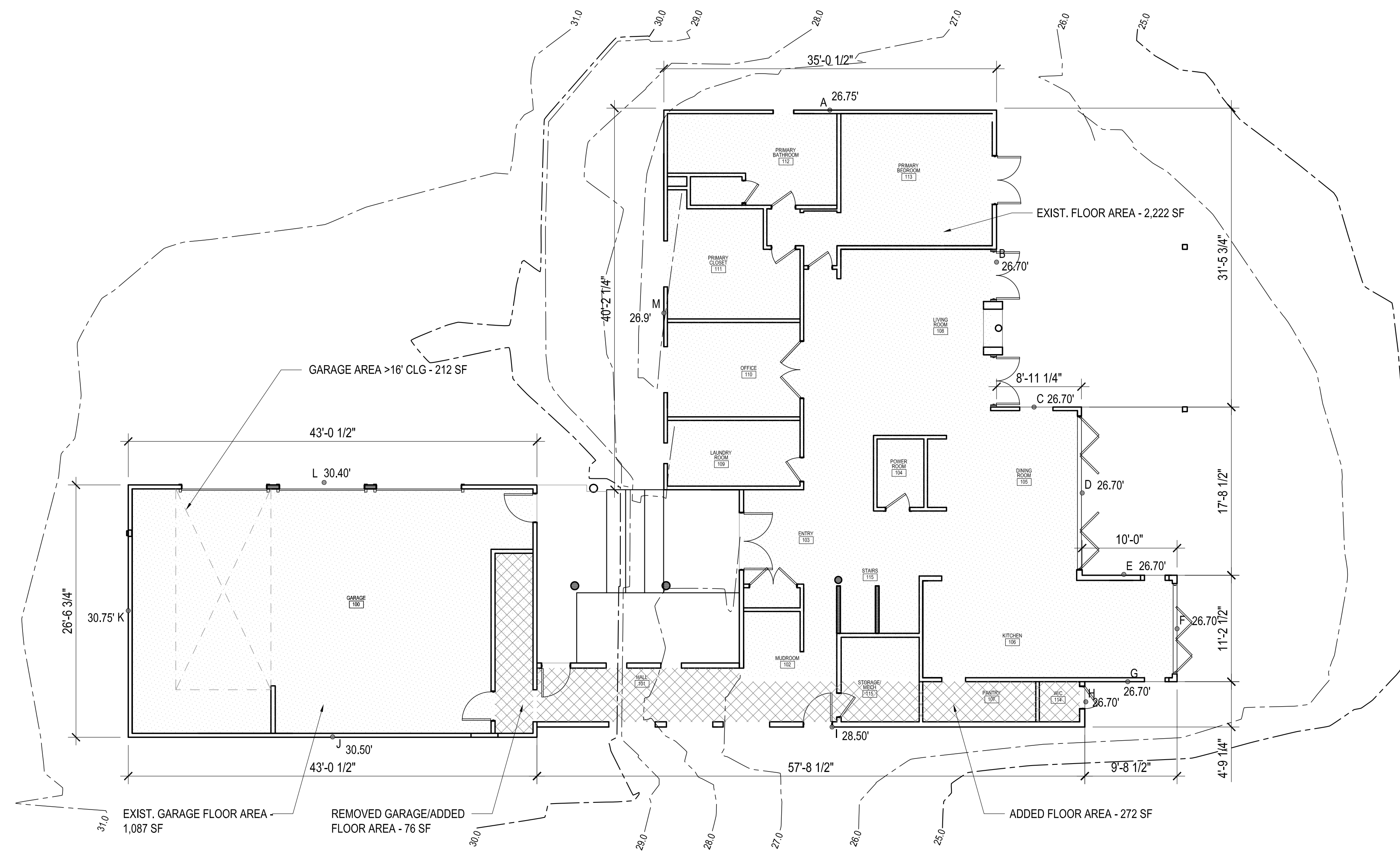
**LEGEND:**

- REMOVED IMPERVIOUS SURFACE AREA
- REPLACE IMPERVIOUS AREA
- NEW IMPERVIOUS SURFACE AREA
- REPLACED ROOF OVER EXISTING EXTERIOR WALLS (NOT COUNTED)
- NEW IMPERVIOUS SURFACE AREA - NEW ROOF



LOT AREA	18,403 SF			
ZONE	R-15			
ALLOW GFA	40% (7,691 SF)			
PROPOSED GFA	31.6% (5,813 SF)			
<b>BUILDING AREA</b>	<b>EXISTING AREA</b>	<b>REMOVED AREA</b>	<b>NEW-ADD AREA</b>	<b>TOTAL</b>
UPPER FLOOR	1,205	0	820	2,025 SF
MAIN FLOOR	2,222	0	348	2,570 SF
TOTAL BASEMENT	N/A	0	0	0 SF
GARAGE MAIN FLOOR	1,087	76	212 (-16' CLG)	1,223 SF
<b>TOTAL FLOOR AREA</b>	<b>4,514</b>	<b>76</b>	<b>1,375</b>	<b>5,818 SF</b>

**GROSS FLOOR AREA CALCULATIONS**



**1 MAIN FLOOR GFA AND ABE**  
 1/8" = 1'-0"

AVERAGE BUILDING ELEVATION FORMULA:

$\frac{(Axa)+(Bxb) \dots \text{through } (Mxm)}{a+b \dots \text{through } m}$

MIDPOINT ELEVATIONS:

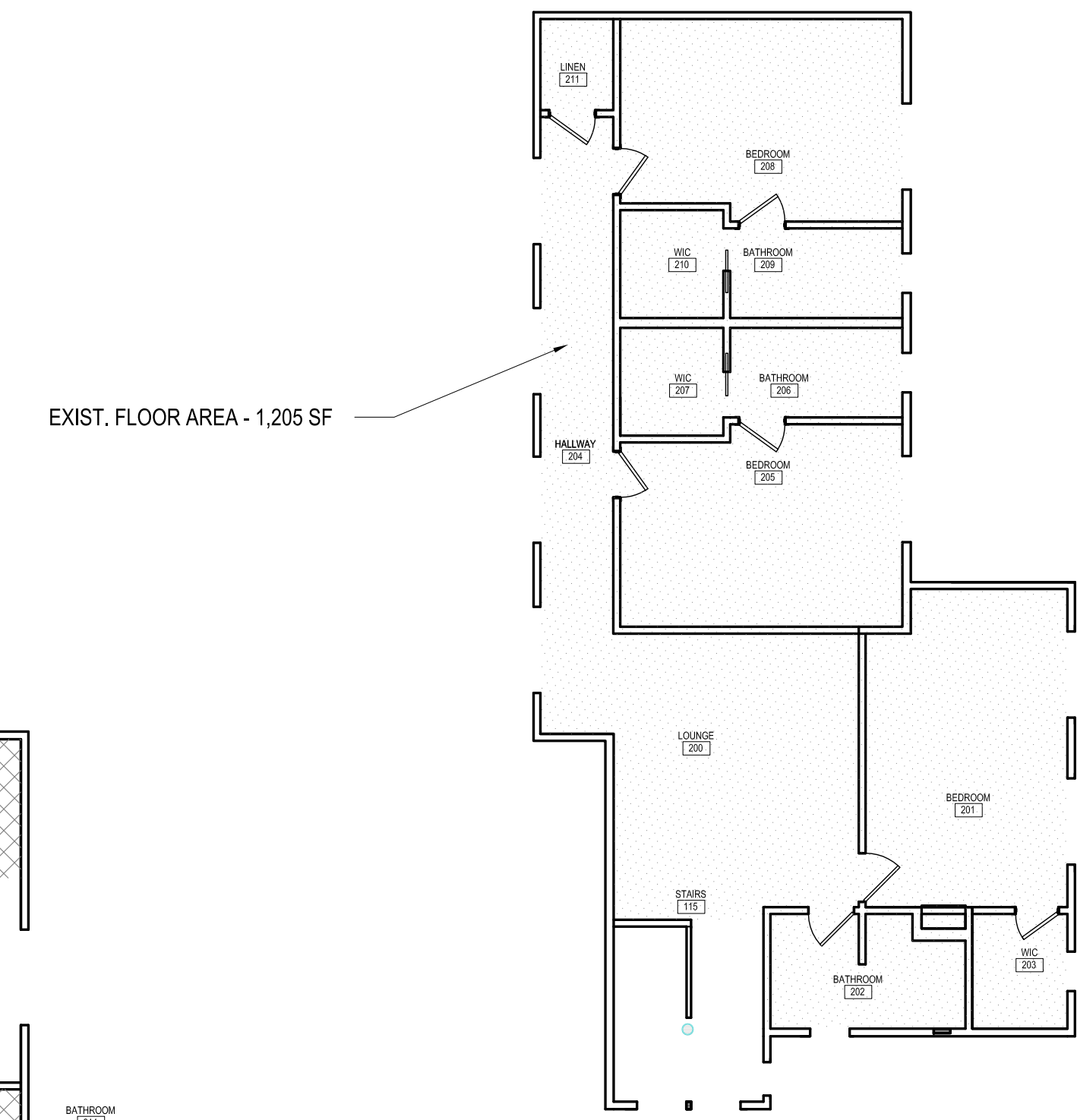
A = 26.75'	a = 35.04'
B = 26.70'	b = 31.48'
C = 26.70'	c = 8.94'
D = 26.70'	d = 17.71'
E = 26.70'	e = 10.00'
F = 26.70'	f = 11.21'
G = 26.70'	g = 9.71'
H = 26.70'	h = 4.77'
I = 28.50'	i = 57.71'
J = 30.50'	j = 43.04'
K = 30.75'	k = 26.56'
L = 30.40'	l = 43.04'
M = 26.90'	m = 40.19'

AVERAGE BUILDING ELEVATION CALCULATION:

$$\frac{(26.75 \times 35.04) + (26.70 \times 31.48) + (26.70 \times 8.94) + (26.70 \times 17.71) + (26.70 \times 10) + (26.70 \times 11.21) + (26.70 \times 9.71) + (26.70 \times 4.77) + (28.50 \times 57.71) + (30.50 \times 43.04) + (30.75 \times 26.56) + (30.40 \times 43.04) + (26.90 \times 40.19)}{35.04 + 31.48 + 8.94 + 17.71 + 10.00 + 11.21 + 9.71 + 4.77 + 57.71 + 43.04 + 26.56 + 43.04 + 40.19}$$

9,606.03 / 339.4 = 28.3' AVERAGE BUILDING ELEVATION (ABE)

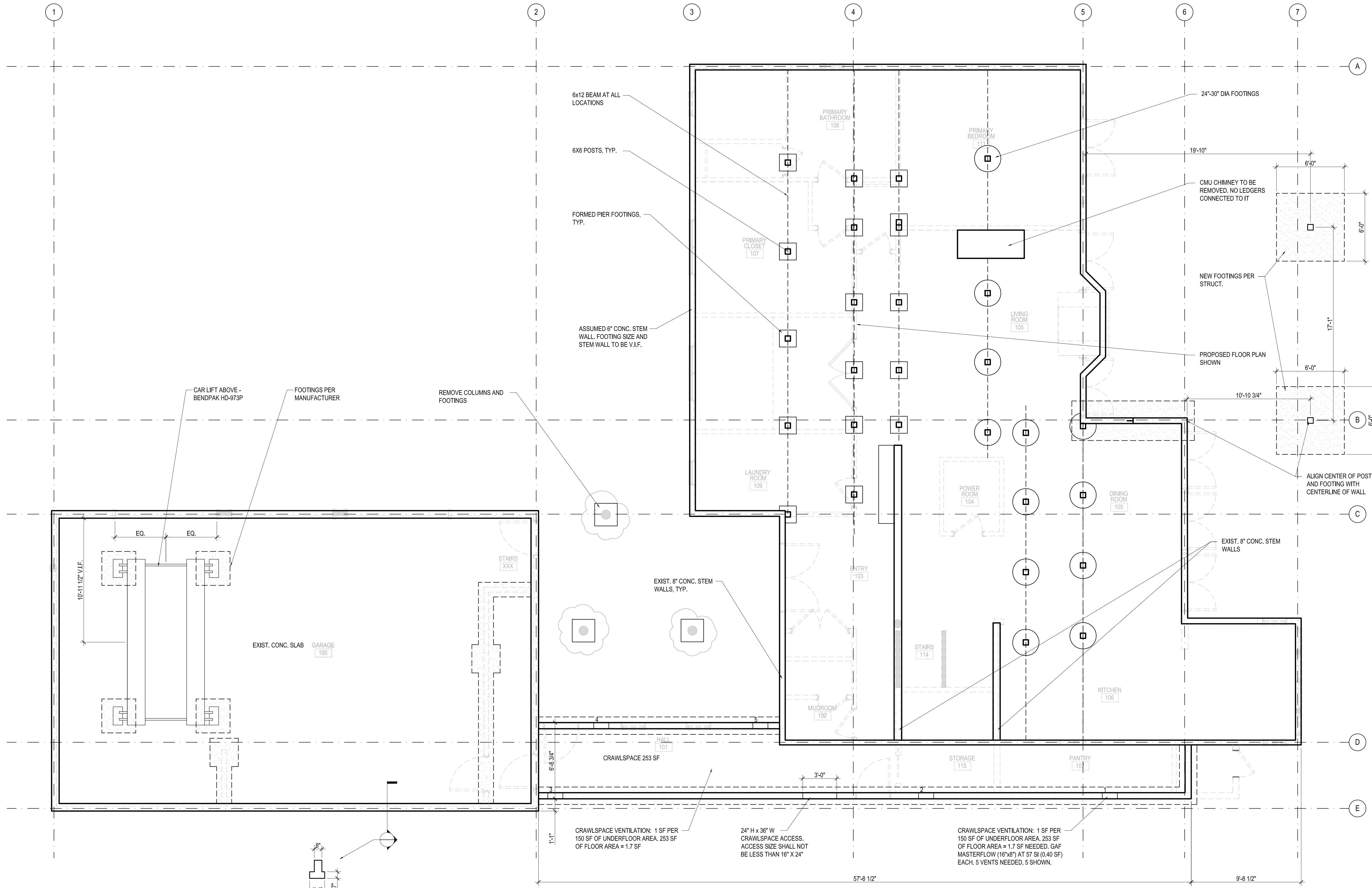
**AVERAGE BUILDING ELEVATION CALCULATION**



**2 UPPER FLOOR GFA**  
 1/8" = 1'-0"



Date:	01.30.2026
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Revision:	



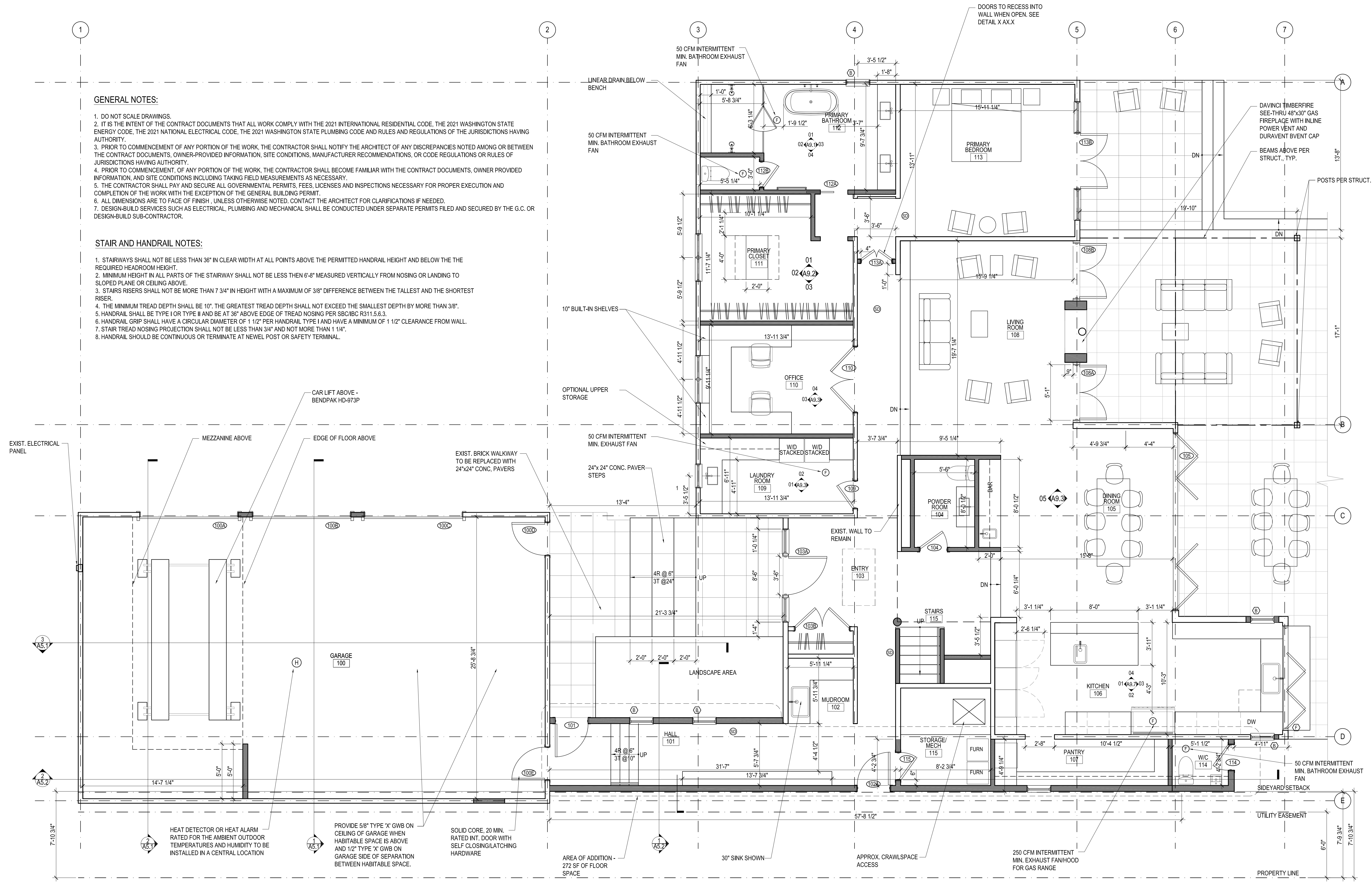
**1** FOUNDATION PLAN  
 1/4" = 1'-0"

**GENERAL NOTES:**

- DO NOT SCALE DRAWINGS.
- IT IS THE INTENT OF THE CONTRACT DOCUMENTS THAT ALL WORK COMPLY WITH THE 2021 INTERNATIONAL RESIDENTIAL CODE, THE 2021 WASHINGTON STATE ENERGY CODE, THE 2021 NATIONAL ELECTRICAL CODE, THE 2021 WASHINGTON STATE PLUMBING CODE AND RULES AND REGULATIONS OF THE JURISDICTIONS HAVING AUTHORITY.
- PRIOR TO COMMENCEMENT OF ANY PORTION OF THE WORK, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES NOTED AMONG OR BETWEEN THE CONTRACT DOCUMENTS, OWNER-PROVIDED INFORMATION, SITE CONDITIONS, MANUFACTURER RECOMMENDATIONS, OR CODE REGULATIONS OR RULES OF JURISDICTIONS HAVING AUTHORITY.
- PRIOR TO COMMENCEMENT, OF ANY PORTION OF THE WORK, THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE CONTRACT DOCUMENTS, OWNER PROVIDED INFORMATION, AND SITE CONDITIONS INCLUDING TAKING FIELD MEASUREMENTS AS NECESSARY.
- THE CONTRACTOR SHALL PAY AND SECURE ALL GOVERNMENTAL PERMITS, FEES, LICENSES AND INSPECTIONS NECESSARY FOR PROPER EXECUTION AND COMPLETION OF THE WORK WITH THE EXCEPTION OF THE GENERAL BUILDING PERMIT.
- ALL DIMENSIONS ARE TO FACE OF FINISH, UNLESS OTHERWISE NOTED. CONTACT THE ARCHITECT FOR CLARIFICATIONS IF NEEDED.
- DESIGN-BUILD SERVICES SUCH AS ELECTRICAL, PLUMBING AND MECHANICAL SHALL BE CONDUCTED UNDER SEPARATE PERMITS FILED AND SECURED BY THE G.C. OR DESIGN-BUILD SUB-CONTRACTOR.

**STAIR AND HANDRAIL NOTES:**

- STAIRWAYS SHALL NOT BE LESS THAN 36" IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT AND BELOW THE REQUIRED HEADROOM HEIGHT.
- MINIMUM HEIGHT IN ALL PARTS OF THE STAIRWAY SHALL NOT BE LESS THAN 6'-8" MEASURED VERTICALLY FROM NOSING OR LANDING TO SLOPED PLANE OR CEILING ABOVE.
- STAIRS RISERS SHALL NOT BE MORE THAN 7 3/4" IN HEIGHT WITH A MAXIMUM OF 3/8" DIFFERENCE BETWEEN THE TALLEST AND THE SHORTEST RISER.
- THE MINIMUM TREAD DEPTH SHALL BE 10". THE GREATEST TREAD DEPTH SHALL NOT EXCEED THE SMALLEST DEPTH BY MORE THAN 3/8".
- HANDRAIL SHALL BE TYPE I OR TYPE II AND BE AT 38" ABOVE EDGE OF TREAD NOSING PER SBC/IBC R311.5.6.3.
- HANDRAIL GRIP SHALL HAVE A CIRCULAR DIAMETER OF 1 1/2" PER HANDRAIL TYPE I AND HAVE A MINIMUM OF 1 1/2" CLEARANCE FROM WALL.
- STAIR TREAD NOSING PROJECTION SHALL NOT BE LESS THAN 3/4" AND NOT MORE THAN 1 1/4".
- HANDRAIL SHOULD BE CONTINUOUS OR TERMINATE AT NEWEL POST OR SAFETY TERMINAL.



**1 MAIN FLOOR PLAN**  
 1/4" = 1'-0"

**LEGEND:**

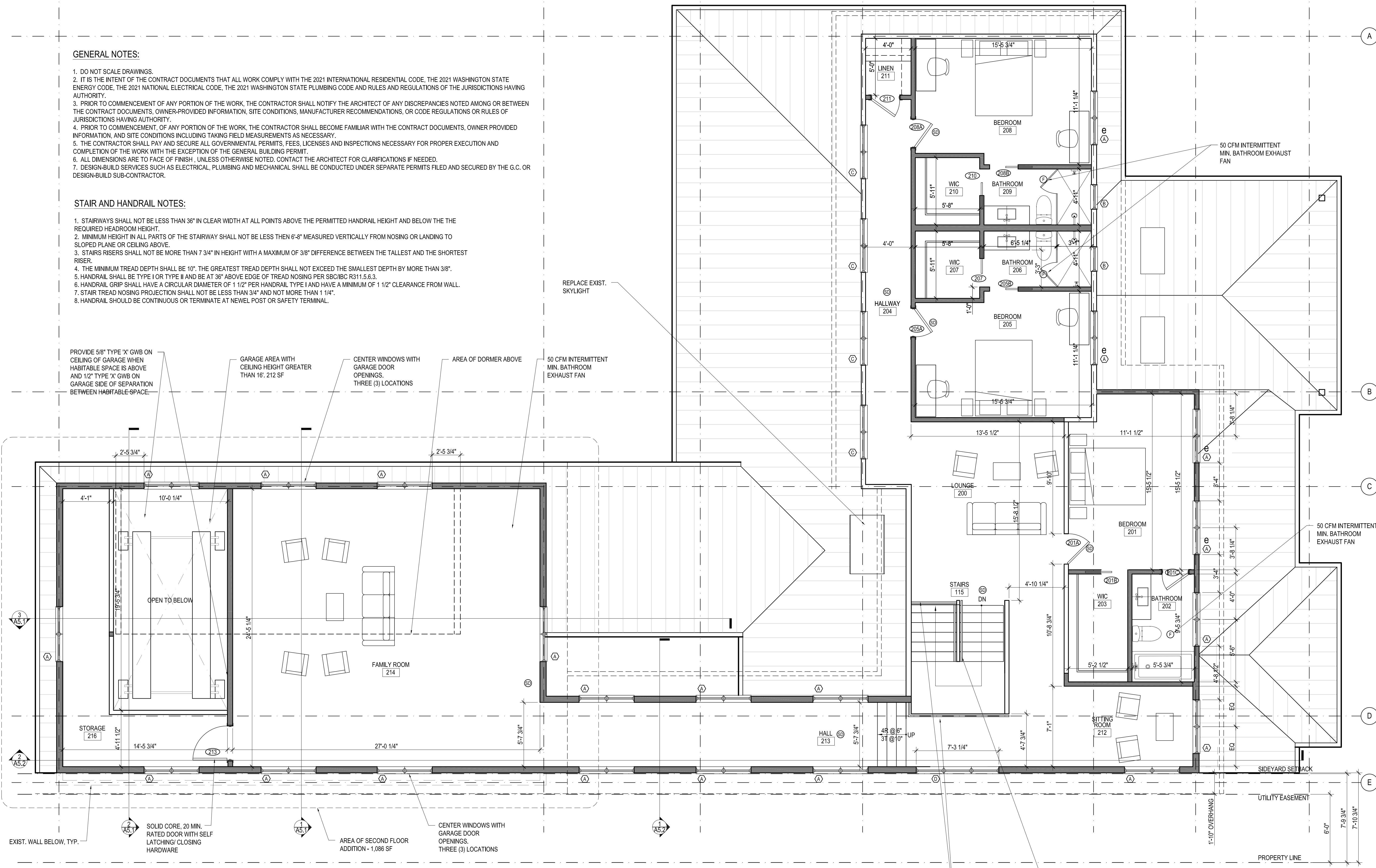
EXIST. INT./EXT. WALL		HARD WIRED CEILING MOUNTED SMOKE AND CARBON MONOXIDE DETECTOR W/BATTERY BACK-UP	
NEW INT./EXT. WALL		EXHAUST FAN	
EGRESS WINDOW		50 CFM INTERMITTENT MIN. FOR BATH AND LAUNDRY	
THERMOSTAT		160 CFM INTERMITTENT MIN. ELECTRIC RANGE	
		250 CFM INTERMITTENT MIN. FOR GAS RANGE	
		300 CFM INTERMITTENT MIN. FOR DOWNDRAFT	

**GENERAL NOTES:**

- DO NOT SCALE DRAWINGS.
- IT IS THE INTENT OF THE CONTRACT DOCUMENTS THAT ALL WORK COMPLY WITH THE 2021 INTERNATIONAL RESIDENTIAL CODE, THE 2021 WASHINGTON STATE ENERGY CODE, THE 2021 NATIONAL ELECTRICAL CODE, THE 2021 WASHINGTON STATE PLUMBING CODE AND RULES AND REGULATIONS OF THE JURISDICTIONS HAVING AUTHORITY.
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- ALL DIMENSIONS ARE TO FACE OF FINISH, UNLESS OTHERWISE NOTED. CONTACT THE ARCHITECT FOR CLARIFICATIONS IF NEEDED.
- DESIGN-BUILD SERVICES SUCH AS ELECTRICAL, PLUMBING AND MECHANICAL SHALL BE CONDUCTED UNDER SEPARATE PERMITS FILED AND SECURED BY THE G.C. OR DESIGN-BUILD SUB-CONTRACTOR.

**STAIR AND HANDRAIL NOTES:**

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- MINIMUM HEIGHT IN ALL PARTS OF THE STAIRWAY SHALL NOT BE LESS THEN 6'-8" MEASURED VERTICALLY FROM NOSING OR LANDING TO SLOPED PLANE OR CEILING ABOVE.
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- THE MINIMUM TREAD DEPTH SHALL BE 10". THE GREATEST TREAD DEPTH SHALL NOT EXCEED THE SMALLEST DEPTH BY MORE THAN 3/8".
- HANDRAIL SHALL BE TYPE I OR TYPE II AND BE AT 36" ABOVE EDGE OF TREAD NOSING PER SBC/IBC R311.5.6.3.
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- STAIR TREAD NOSING PROJECTION SHALL NOT BE LESS THAN 3/4" AND NOT MORE THAN 1 1/4".
- HANDRAIL SHOULD BE CONTINUOUS OR TERMINATE AT NEWEL POST OR SAFETY TERMINAL.



- LEGEND:**
- EXIST. INT./EXT. WALL:
  - NEW INT./EXT. WALL:
  - EGRESS WINDOW:
  - THERMOSTAT:
  - HARD WIRED CEILING MOUNTED SMOKE AND CARBON MONOXIDE DETECTOR W/BATTERY BACK-UP:
  - EXHAUST FAN 50CFM MIN. FOR BATH AND LAUNDRY 100CFM MIN. FOR KITCHEN:

**1 UPPER FLOOR PLAN**  
 1/4" = 1'-0"

PROVIDE 5/8" TYPE 'X' GWB ON CEILING OF GARAGE WHEN HABITABLE SPACE IS ABOVE AND 1/2" TYPE 'X' GWB ON GARAGE SIDE OF SEPARATION BETWEEN HABITABLE SPACE.

GARAGE AREA WITH CEILING HEIGHT GREATER THAN 16'. 212 SF

CENTER WINDOWS WITH GARAGE DOOR OPENINGS. THREE (3) LOCATIONS

AREA OF DORMER ABOVE

50 CFM INTERMITTENT MIN. BATHROOM EXHAUST FAN

REPLACE EXIST. SKYLIGHT

50 CFM INTERMITTENT MIN. BATHROOM EXHAUST FAN

50 CFM INTERMITTENT MIN. BATHROOM EXHAUST FAN

36" HIGH GLASS RAILING

REPLACE EXIST. HANDRAIL WITH NEW PER HANDRAIL NOTES

Architect:  
**JML ARCHITECTS**  
 Mercer Island, WA 98040  
 P. 206.802.4040  
 Contact: Jean-Marc LeRoy, AIA



Owner:  
 Greg and Jennifer Rosenwald  
 4836 E Mercer Way  
 Mercer Island, WA 98040  
 P. -  
 Contact: Greg Rosenwald

General Contractor:  
 TBD  
 P. -  
 Contact: -

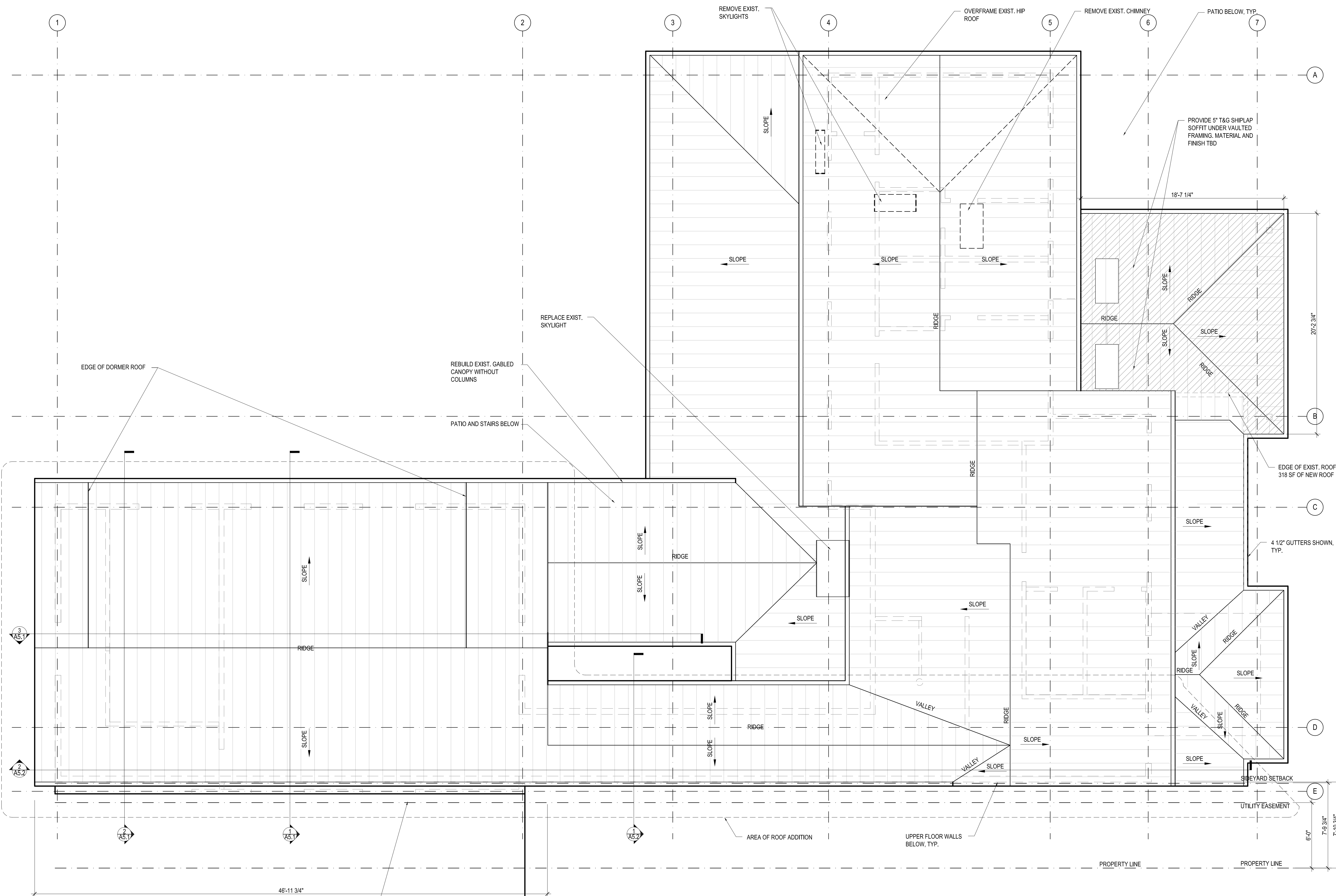
Structural Engineer:  
 Harriott Valentine Engineering  
 1932 1st Ave, Suite 720  
 Seattle, WA 98101  
 P. 206.624.4760  
 Contact: Todd Valentine

Mechanical Engineer:  
 n/a  
 P. -  
 Contact: -

Jurisdiction Approval Stamp

Date:	01.30.2026
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Project:  
**Rosenwald Residence**  
 4836 E Mercer Way  
 Mercer Island, WA 98040  
 Project No. 24.245  
 Date: January 30, 2026  
**CONSTRUCTION**



**1** ROOF PLAN  
 1/4" = 1'-0"

REPLACE ALL GUTTERS WITH NEW 4 1/2" BOX TYPE GUTTERS, TYP.

Architect:  
**JML ARCHITECTS**  
 Mercer Island, WA 98040  
 P. 206.802.4040  
 Contact: Jean-Marc LeRoy, AIA



Owner:  
 Greg and Jennifer Rosenwald  
 4836 E Mercer Way  
 Mercer Island, WA 98040  
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General Contractor:  
 TBD  
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Structural Engineer:  
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 1932 1st Ave, Suite 720  
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Mechanical Engineer:  
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 Contact: -

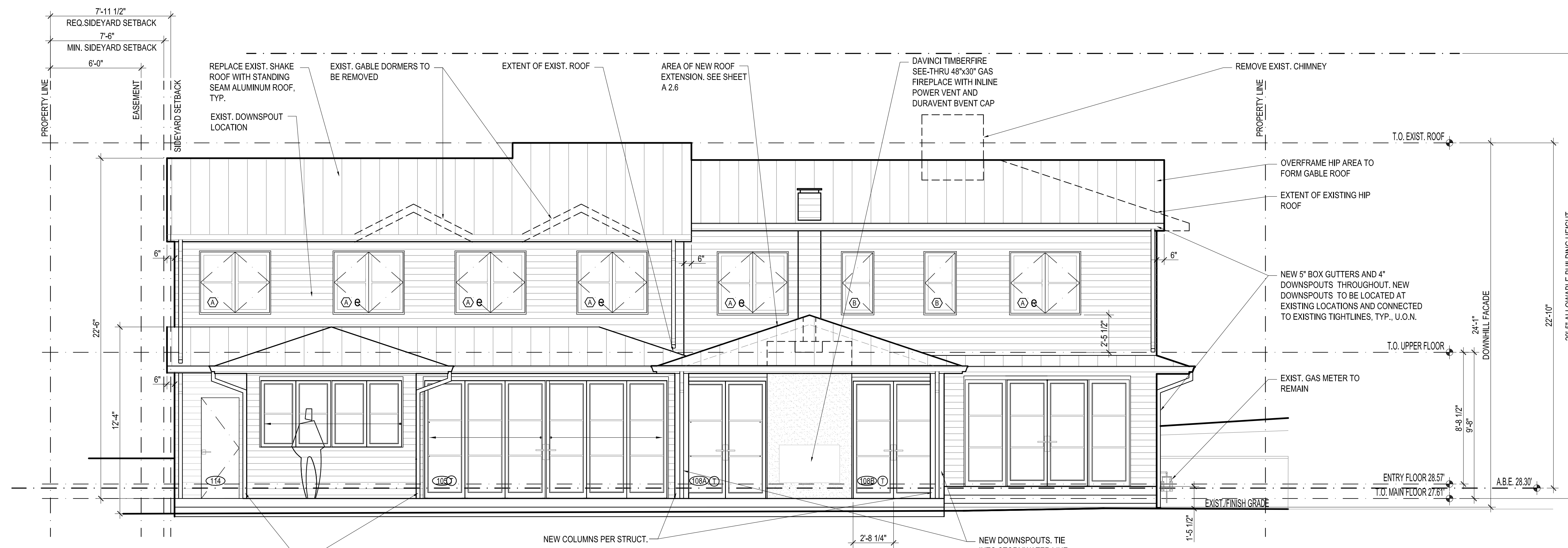
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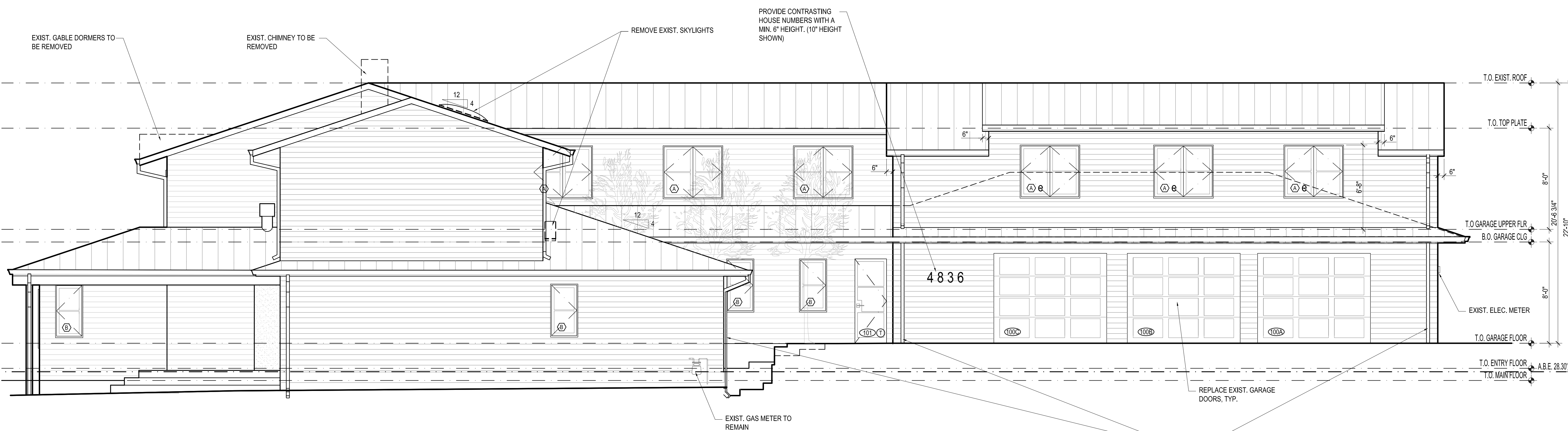
Project:  
**Rosenwald Residence**  
 4836 E Mercer Way  
 Mercer Island, WA 98040  
 Project No. 24.245  
 Date: January 30, 2026  
**CONSTRUCTION**

EXT. ELEVATIONS

**A3.2**



**1** EAST ELEVATION  
 1/4" = 1'-0"

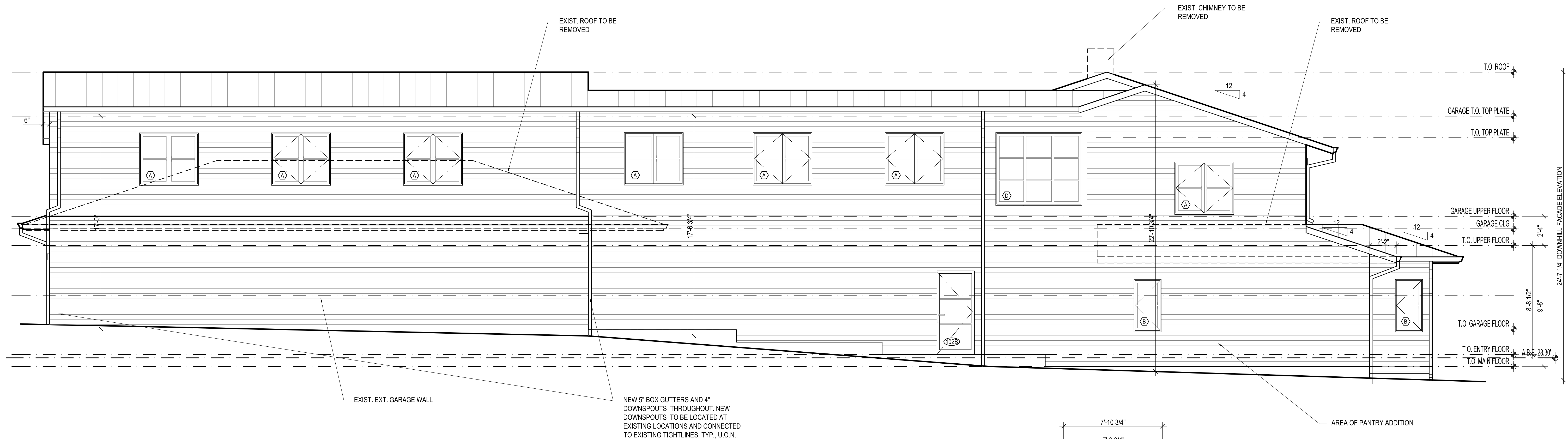


**2** NORTH ELEVATION  
 1/4" = 1'-0"

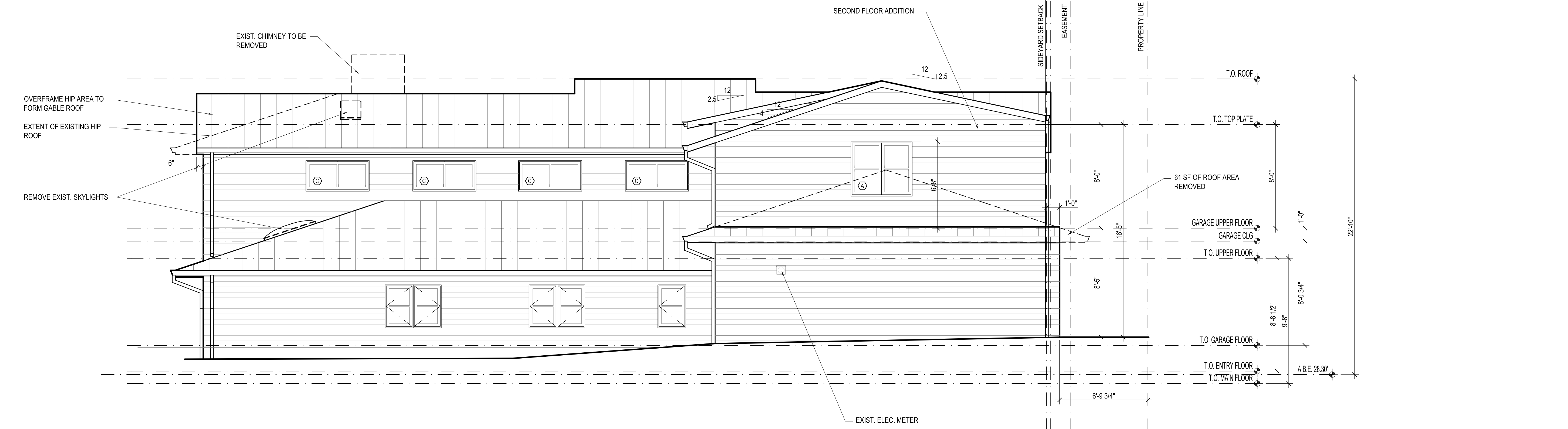
NEW 5" BOX GUTTERS AND 4" DOWNSPOUTS THROUGHOUT. NEW DOWNSPOUTS TO BE LOCATED AT EXISTING LOCATIONS AND CONNECTED TO EXISTING TIGHTLINES, TYP., U.O.N.

NOTE:  
 EXISTING GARAGE STRUCTURE IS NON-CONFORMING REGARDING SIDEYARD SETBACKS PER PREVIOUS BUILDING PERMIT. PROPOSED DESIGN CONFORMS TO MICC 19.01.050(D)(1)(b). NO EXISTING NON-CONFORMING EXTERIOR STRUCTURAL WALLS TO BE REMOVED.

Date:	01.30.2026
Revision:	04.28.2026
Number:	CONSTRUCTION SET ISSUE
	BUILDING PERMIT REVISION 1



**1** SOUTH ELEVATION  
 1/4" = 1'-0"



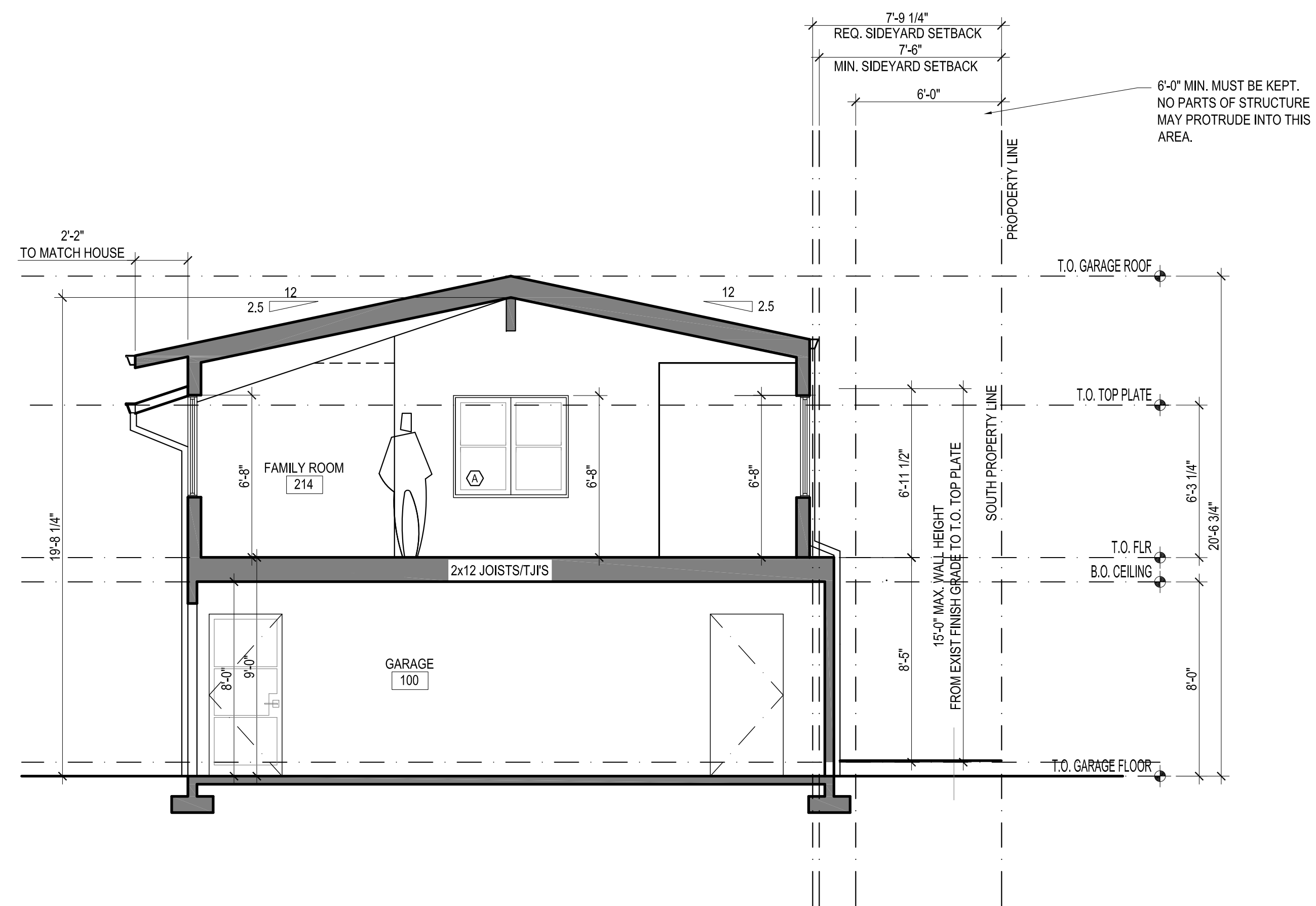
**2** WEST ELEVATION  
 1/4" = 1'-0"

NOTE:  
 EXISTING STRUCTURE IS NON-CONFORMING REGARDING SIDEYARD SETBACKS PER PREVIOUS BUILDING PERMIT. PROPOSED DESIGN CONFORMS TO MICC 19.01.050(D)(1)(b). NO EXISTING NON-CONFORMING EXTERIOR STRUCTURAL WALLS TO BE REMOVED.

6'-0" UTILITY EASEMENT. NO PARTS OF STRUCTURE MAY PROTRUDE INTO THIS AREA.

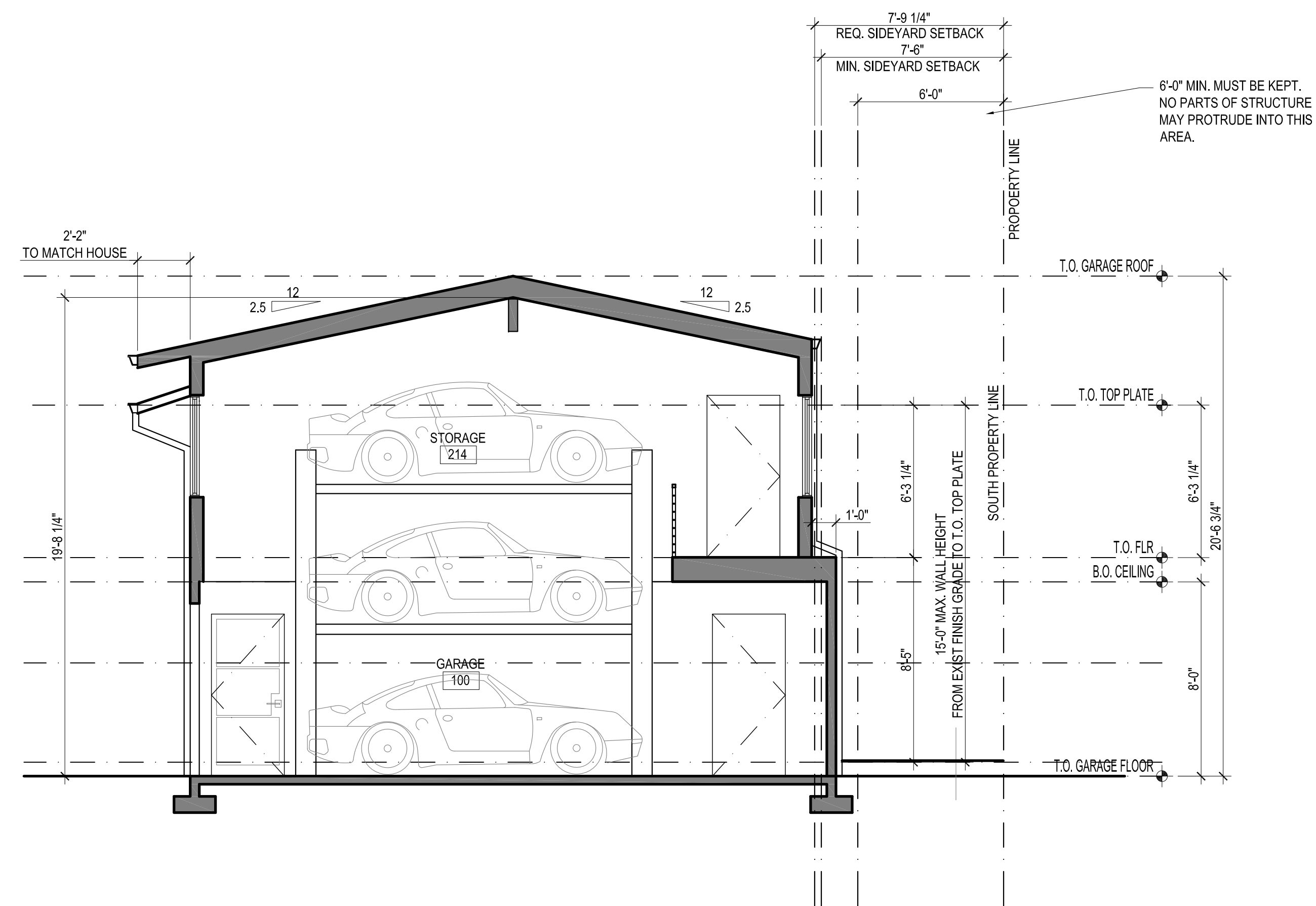


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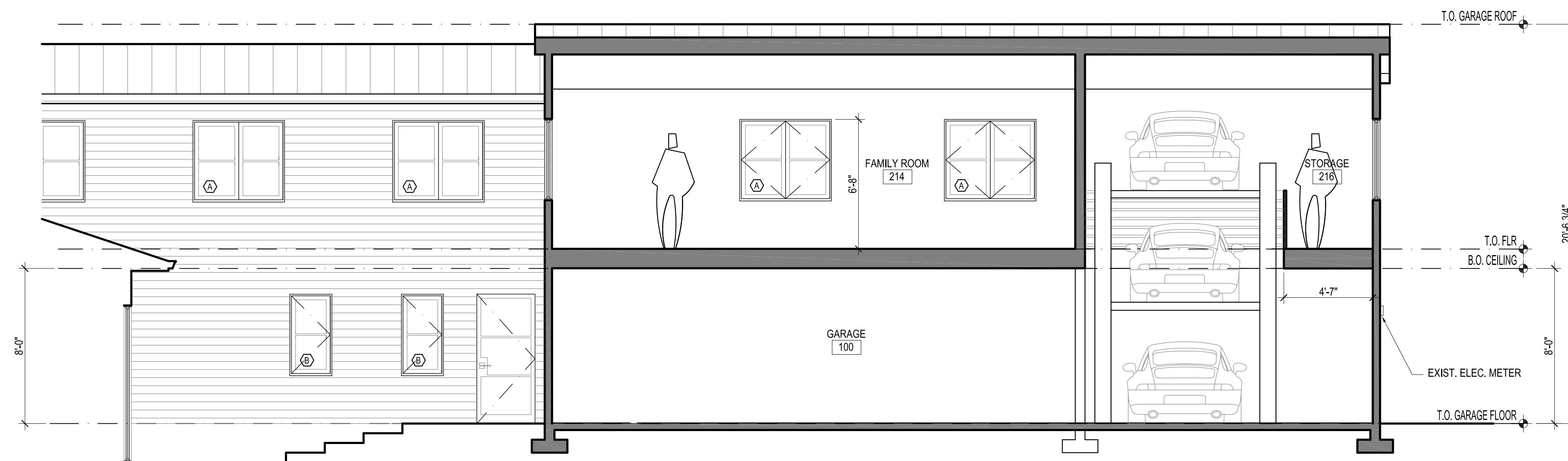
**1** BUILDING SECTION  
 1/4" = 1'-0"

NOTE:  
 PROVIDE 5/8" TYPE 'X' GWB ON CEILING OF GARAGE WITH HABITABLE SPACE ABOVE AND 1/2" TYPE 'X' GWB ON GARAGE SIDE OF SEPARATION BETWEEN HABITABLE SPACE.



**2** BUILDING SECTION  
 1/4" = 1'-0"

NOTE:  
 PROVIDE 5/8" TYPE 'X' GWB ON CEILING OF GARAGE WITH HABITABLE SPACE ABOVE AND 1/2" TYPE 'X' GWB ON GARAGE SIDE OF SEPARATION BETWEEN HABITABLE SPACE.



**3** BUILDING SECTION  
 1/4" = 1'-0"

